



THE EIGHT

## A PROJECT OF

The Eight Administration Co. Ltd.  
55/75 Moo 1, Ang Thong  
Koh Samui  
Suratthani 84140  
THAILAND



TAX ID No.: 0845568020658

Dear Investor,  
Dear Interested Party,

We are very pleased about your interest in our new product "THE EIGHT" on Koh Samui in Thailand. "THE EIGHT" is the newest project by a German investor in Thailand, who have been successfully projecting and investing in real estate in Germany for the second generation to date.

He has been living on Koh Samui with his family for 7 years, has been studying the local real estate market for years, and has dealt with all the conditions related to real estate investments in Thailand, specifically on Koh Samui.

The real estate market on Koh Samui is very exciting, with a continuously rising yield, explainable among others by a continuously increasing demand and a perfect location in the Southeast Asian region.

For these aforementioned reasons and the various challenges for real estate investments in Germany, we have spent a long time and intensive effort comparing yield properties in Thailand with yield properties in Germany.

We have come to the conclusion that with the right investments in Thailand, an investor can calculate with a net yield of 10-15%, and that with no higher risk than, for example, in Germany, quite the contrary.



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"THE EIGHT" is being developed on a plot of approximately 450 square meters in the central area of Maenam in the northeast of the island.

Our project is intended for individual investors, but of course, we are also happy to sell our apartments in packages or entirely to one investor.

The residential building "THE EIGHT" has a ground floor and three floors, 8 apartments, a common pool and parking area in front of the house. The house is located in a cozy area with developed infrastructure, 4 minutes from the sea. Nearby there are restaurants, grocery stores, beauty salons, gyms and everything you need for a comfortable stay

By the way, the sale is commission-free for the buyer, with only ancillary purchase costs for the registration in the "land register" amounting to approximately 1,000.00 EUR as a one-time fee.

The distribution of the properties is managed by 24/7 Real Estate Co. LTD. on Koh Samui.



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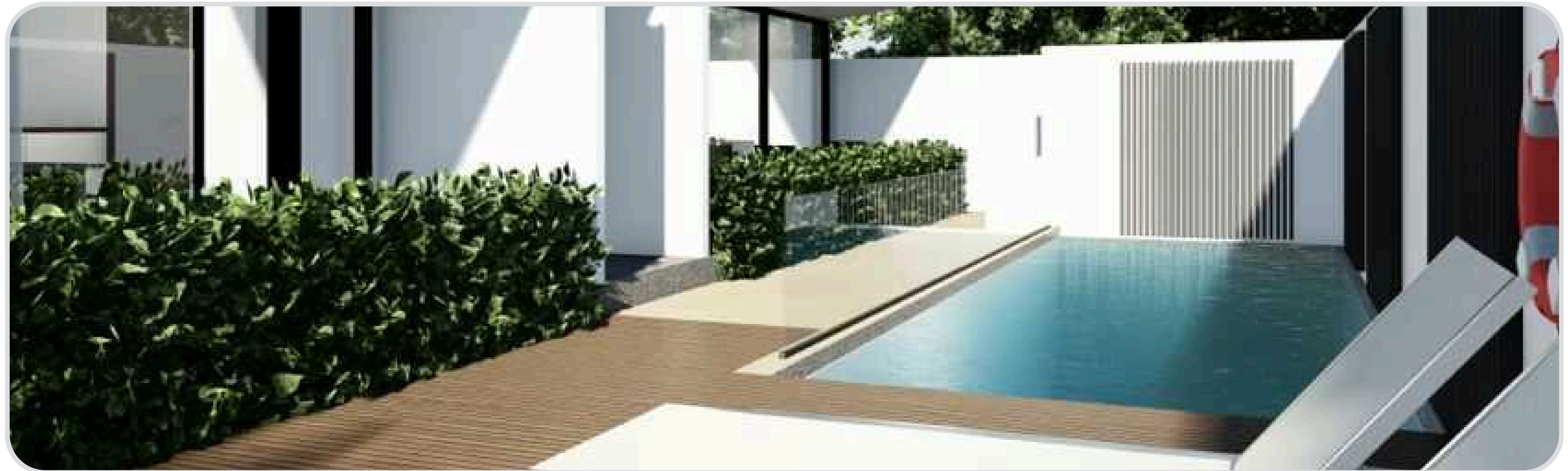
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The distribution of the properties is managed by 24/7 Real Estate Co. LTD. on Koh Samui. This company has been marketing through Airbnb and Booking.com for many years and acts as a full-service provider, taking care of all rental, repair and maintenance work, including renting out the property, cleaning, etc.

We would be delighted to advise you on investing in our new project and look forward to your contact via live chat, WhatsApp, by phone, and of course, you are always warmly welcome to visit us on site!



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## THE CALCULATION APARTMENT 65 sqm.

Apartment approx. 65 sqm, 1 bedroom including furniture, ready for rental	4,450,000.00 THB
<b>Gross annual income:</b> minus 10% for management, rental, maintenance, etc.	445,000.00 THB
<b>Net income</b>	<b>44,500.00 THB</b> 400,500.00 THB
<b>ROI</b>	<b>9%</b>

The foregoing calculation is based on the long-term experience values of local renters and is based on thorough research. However, no guarantee or warranty can be assumed for future earnings.



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## THE CALCULATION APARTMENT 68 sqm.

Apartment approx. 68 sqm, 1 bedroom including furniture, ready for rental	4,500,000.00 THB
<b>Gross annual income:</b> minus 10% for management, rental, maintenance, etc.	450,000.00 THB
<b>Net income</b>	<b>45,000.00 THB</b> 405,500.00 THB
<b>ROI</b>	<b>9%</b>

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## THE CALCULATION APARTMENT 71 sqm.

Apartment approx. 71 sqm, 1 bedroom including furniture, ready for rental	4,750,000.00 THB
Gross annual income:	475,000.00 THB
minus 10% for management, rental, maintenance, etc.	47,500.00 THB
Net income	427,500.00 THB
ROI	9%

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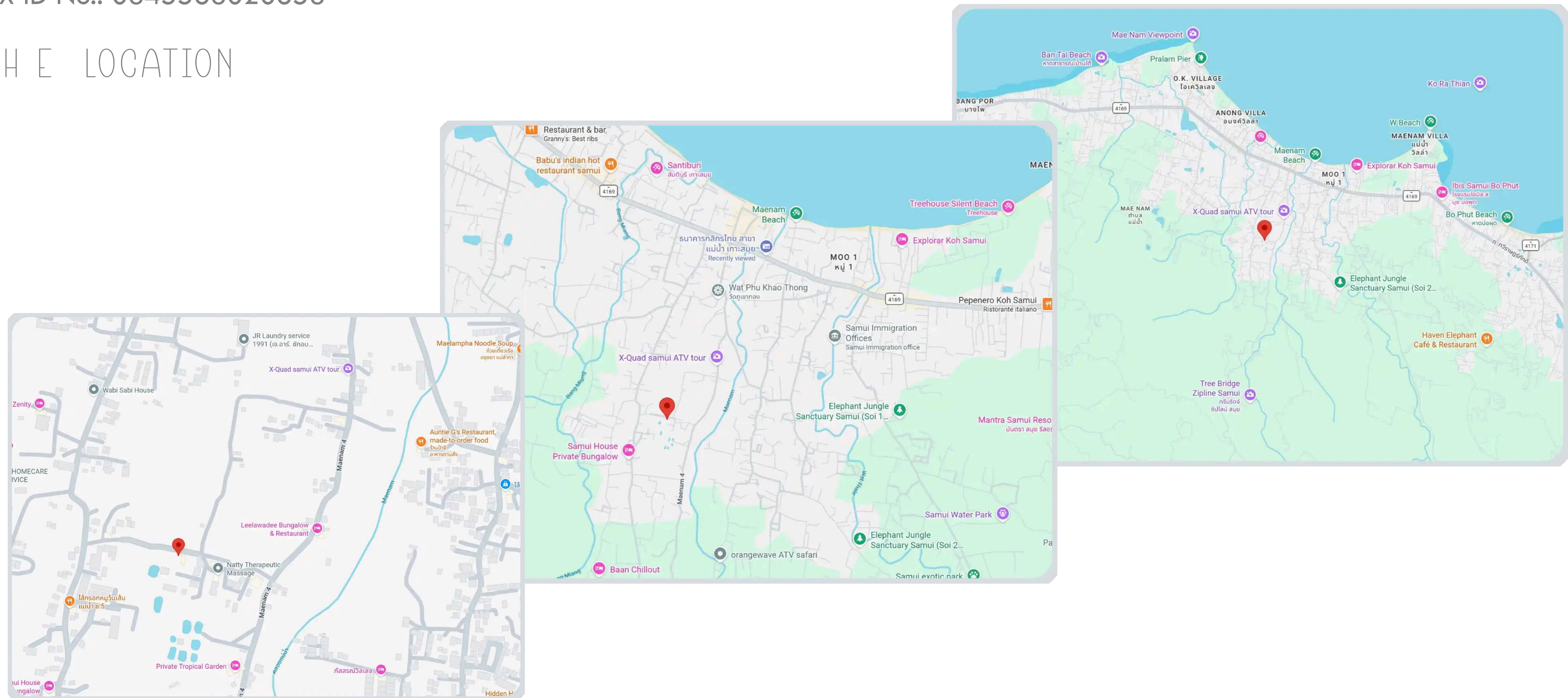
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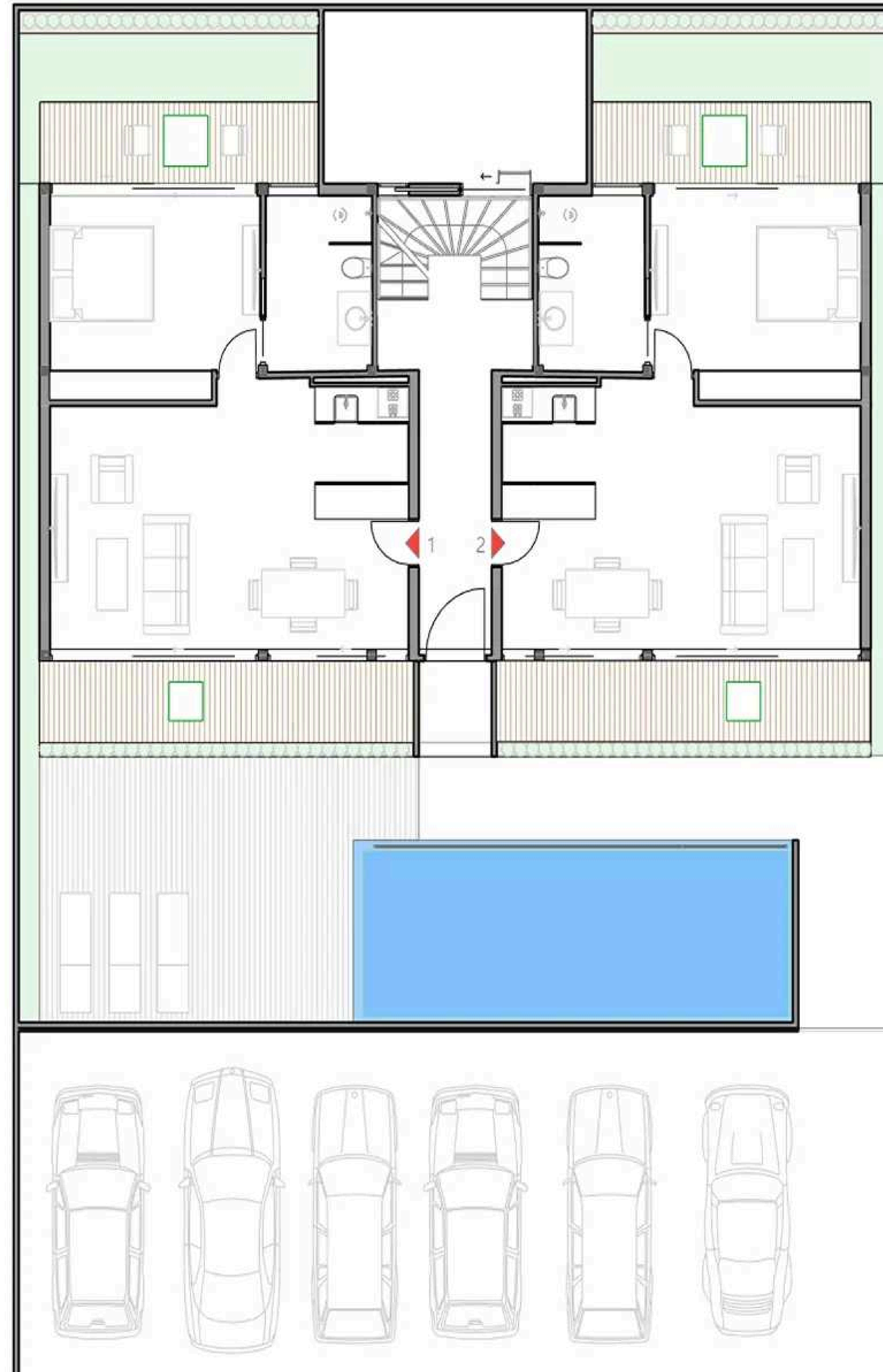
## THE LOCATION



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Unit 1 & 2  
Inside 56 sqm

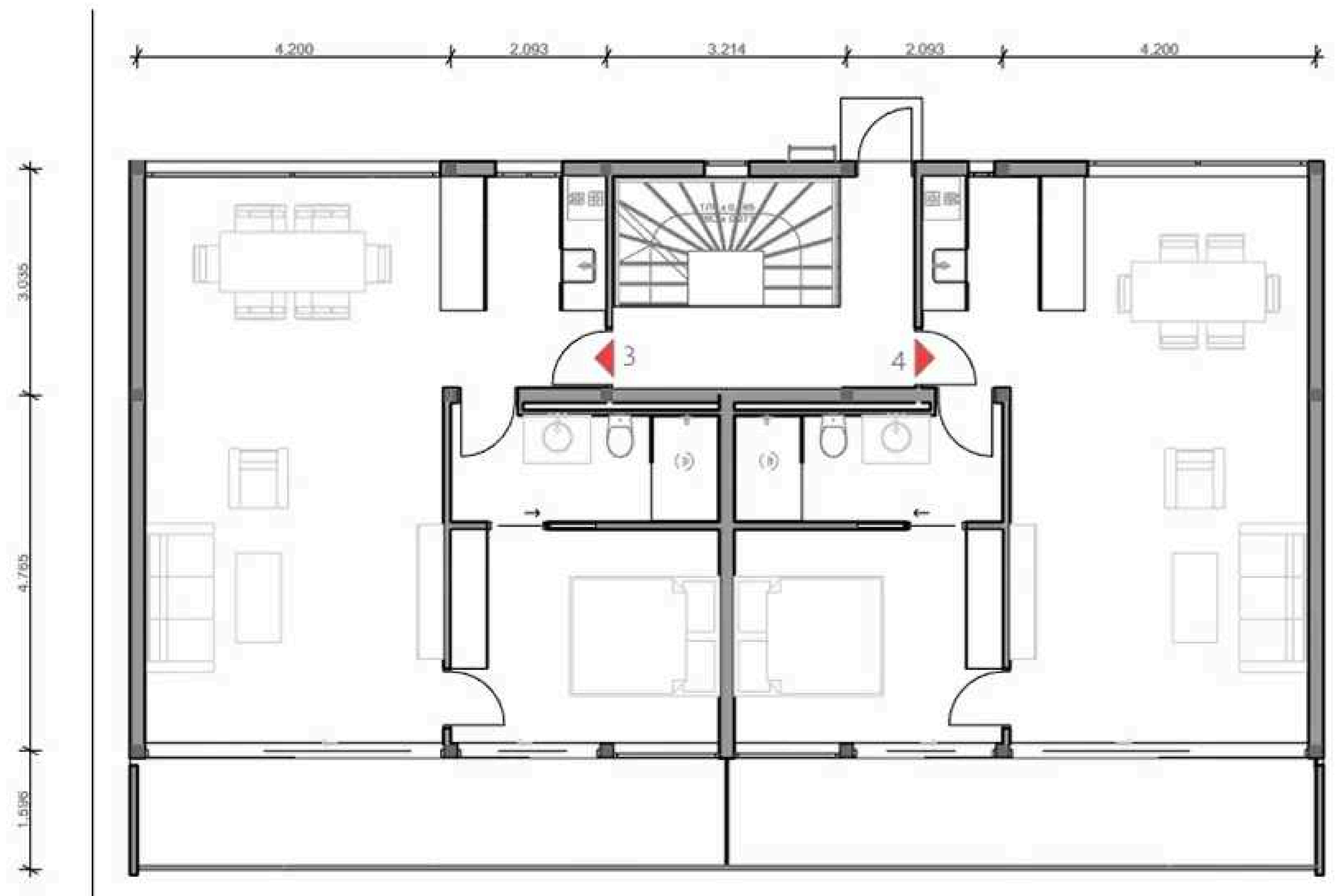
Terraces / Garden 27 sqm



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Unit 3, 5, 7  
Inside 71 sqm

Unit 4, 6, 8  
Inside 68 sqm

